



4 West Parade, Hythe

Offers in Region of £800,000

Skippers

West Parade

Hythe, Hythe

Elegant five/six-bedroom Victorian home with breathtaking sea views, period features, modern kitchen, three bathrooms, balcony, and versatile living spaces in a prime coastal location. EPC D.

- Offers in Region of £800,000
- Mid Terraced Victorian Property
- Five / Six Bedrooms
- Three Bathroom / Shower Rooms
- Uninterrupted Sea Views
- Restored Balcony
- Open Plan Kitchen & Dining Area (Second Lounge on 1st Floor)
- EPC Rating "D"





Entrance Porch

5' 10" x 3' 3" (1.78m x 1.00m)

UPVC glazed front door to the front of the property. Tiled flooring with wooden internal door to entrance hall.

Entrance Hall

20' 0" x 3' 3" (6.09m x 1.00m)

Engineered oak flooring with stairs to first floor landing. Radiator, high skirting boards and coving. Door To :-

Lounge/Kitchen/Dining

38' 3" x 13' 5" (11.65m x 4.09m)

Dual aspect open plan room with stunning sea views to the front. UPVC double glazed bay sash window to the front of the property. UPVC double glazed Juliet balcony doors to the rear on raised level overlooking the garden. Engineered oak flooring to lounge/diner. Lovely fireplace with gas fire. Two radiators in lounge and one in dining. Kitchen has Travertine tiled flooring. Shaker style kitchen with matching wall and base units. Solid wooden worktops. Space for low level fridge and low level freezer and space for dishwasher. Fan oven, gas hob and extractor fan. Wall mounted boiler, porcelain sink and tiled splashback behind the sink.

Internal Hallway

8' 8" x 6' 0" (2.63m x 1.83m)

Newly laid carpeted floor coverings with stairs leading down to lower ground floor. Door To :-

Shower Room

8' 8" x 6' 8" (2.65m x 2.04m)

UPVC double glazed frosted window to the rear of the property. Large walk-in shower, thermostatic Aqualisa shower. Vanity unit housing the sink with back to wall w/c. Wall mounted storage cupboard, fully tiled walls, heated towel rail and tiled flooring.

Lower Ground Floor Hallway

27' 6" x 6' 0" (8.37m x 1.82m)

Separate UPVC double glazed door to the front. Travertine flooring tiles, radiator and large storage cupboard with plumbing for a washing machine. Doors To :-

Bedroom

13' 6" x 13' 6" (4.12m x 4.11m)

Large UPVC double glazed bay windows to the front of the property with fitted blinds. Travertine flooring and a radiator.

Bedroom

17' 11" x 10' 4" (5.45m x 3.16m)

UPVC double glazed patio doors leading out to the garden. Travertine tiled flooring and two radiators.

Utility Room / Bedroom

12' 1" x 6' 8" (3.68m x 2.03m)

UPVC double glazed door leading out to the garden. Travertine tiled flooring, radiator and a large airing cupboard.

Shower Room

11' 8" x 6' 0" (3.56m x 1.82m)

Internal shower room with Travertine tiled floors. Large walk-in shower with drench shower. Full size bath, closed couple w/c, extractor fan, pedestal hand basin, part tiled walls and heated towel rail.

First Floor Landing

12' 8" x 6' 0" (3.86m x 1.82m)

Carpeted floor coverings and stairs to second floor landing. Doors To :-

Shower Room

8' 6" x 6' 8" (2.58m x 2.02m)

UPVC double glazed frosted window to the rear of the property. Shower cubicle with thermostatic shower. Closed couple WC, pedestal hand basin, part tiled walls, radiator and a cupboard housing a second boiler for upper floors.

Bedroom/Kitchen

12' 4" x 10' 8" (3.76m x 3.26m)

UPVC double glazed sash window to the rear of the property with views over Hythe. Vinyl flooring, matching wall and base units. Fan oven, electric hob, extractor fan, large pantry cupboard and space for a washing machine. High ceilings, coving, original doors and coving. This room could be taken back to a bedroom or left as a second kitchen.



Second Lounge/Bedroom

17' 0" x 16' 2" (5.17m x 4.94m)

Lovely sized room with beautiful views looking straight out over the beach and direct sea views. UPVC double glazed bay patio windows leading out to front balcony. Double glazed patio door leading out to balcony also. Carpeted floor coverings, coving, high skirting boards, two radiators and an open fire.

Second Floor Landing

12' 8" x 6' 0" (3.85m x 1.82m)

Carpeted floor coverings. Large eaves storage cupboard running through to the back wall of the house. UPVC double glazed sash window to the rear and a loft hatch. Doors To :-

Bedroom / Office

17' 8" x 13' 2" (5.38m x 4.02m)

UPVC double glazed windows to the front of the property with arguably the best views in the house. Carpeted floor coverings, original fireplace, two fitted wardrobes/cupboards and a radiator.

Bedroom

12' 10" x 11' 1" (3.90m x 3.37m)

UPVC double glazed window to the rear with views out over Hythe looking towards St Leonards Church. Carpeted floor coverings. Feature fireplace, panel boarded ceiling and a radiator.

WC

3' 9" x 2' 9" (1.15m x 0.83m)

Internal room with closed couple WC macerater toilet system and a hand basin.

Garden

To the rear of the property you have a decking area of the bedroom / utility room. Large wood outside shed standing on concrete base. Area laid to lawn with well established shrubs down one side and a rear gate for access.

Balcony

Restored Balcony with restored fibreglass flooring and restored woodwork and paint.

ON STREET

1 Parking Space



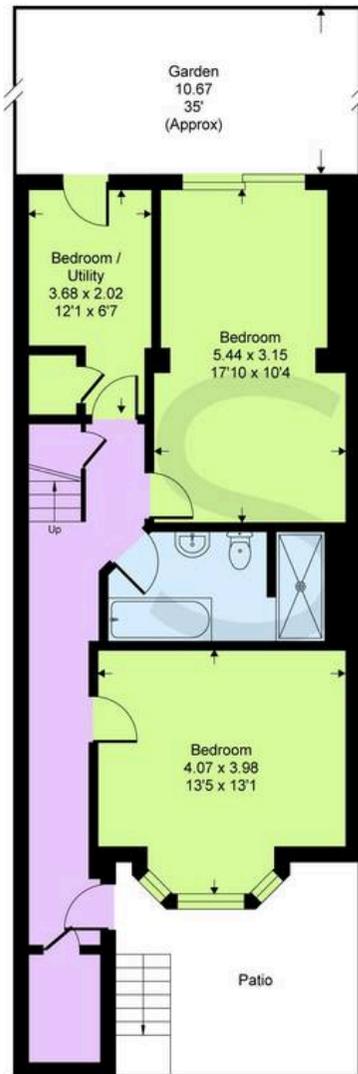






West Parade, CT21

Approximate Gross Internal Area = 211 sq m / 2272 sq ft
(excludes restricted head height)



Lower Ground Floor



Ground Floor

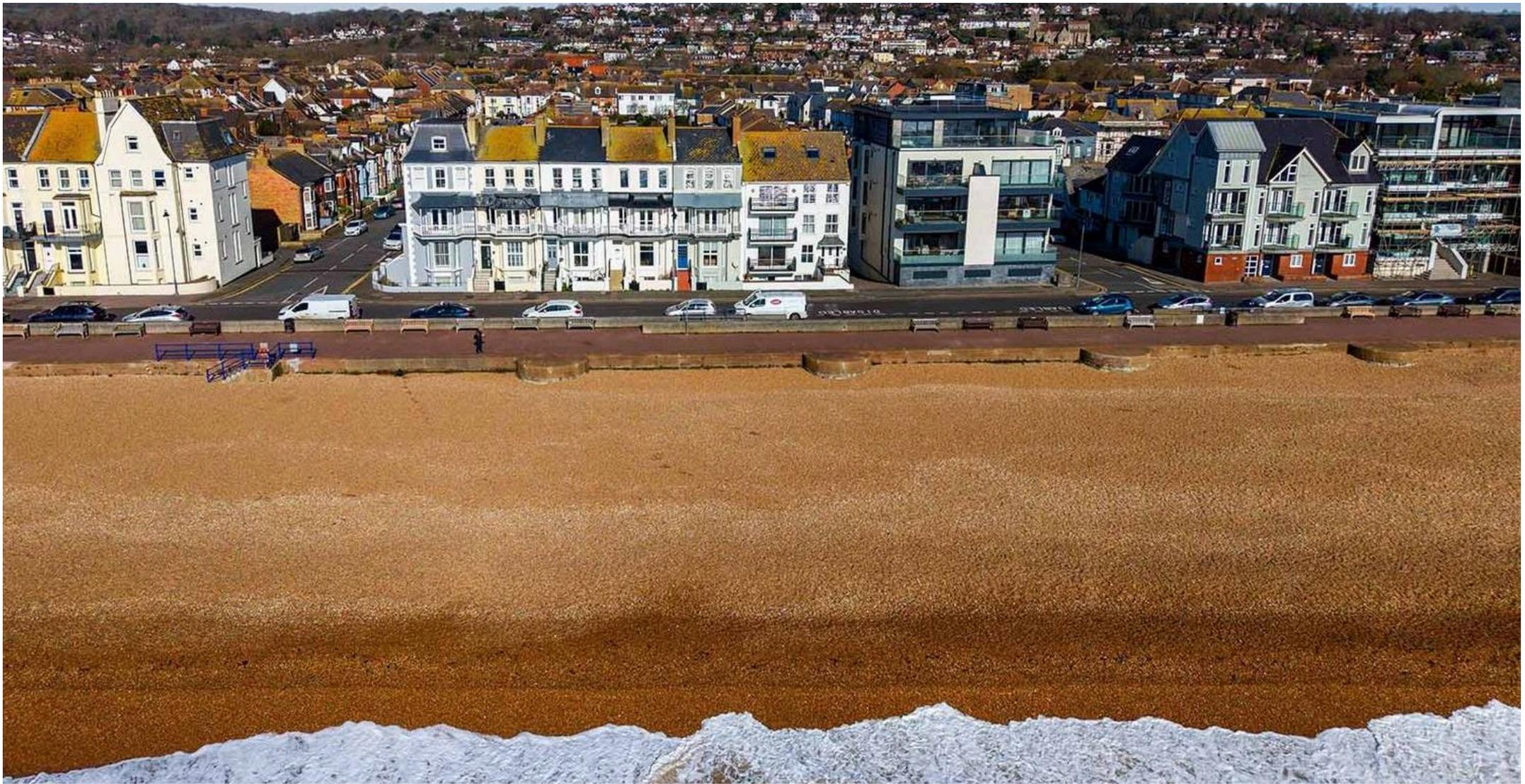


First Floor



Second Floor

This floor plan is for representation purposes only as defined by the RICS code of Measuring Practice (and IPMS where requested) and should be used as such by any prospective purchaser. Whilst every attempt has been made to ensure the accuracy contained here, the measurement of doors, windows and rooms is approximate and no responsibility is taken for any error, omission or mis-statement. Specifically no guarantee is given on the total area of the property if quoted on the plan. Any figure provided is for guidance only and should not be used for valuation purposes.



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