



13 Williamson Road, Lydd On Sea

In Excess of **£425,000**

Skippers

13 Williamson Road

Lydd On Sea, Romney Marsh

Spacious four bed detached chalet bungalow with no onward chain, large garden, direct access to SSSI reserve, ample parking, close to beach, ideal for families seeking versatile living.

Council Tax band: D

Tenure: Freehold

- No onward chain
- Bright and extended family home offering spacious and versatile living throughout.
- Four double bedrooms
- Flexible accommodation
- Two spacious reception rooms
- Stunning views over the SSSI (site of special scientific interest) nature reserve
- Well presented detached Chalet bungalow



Entrance hall

Porch leading to a welcoming entrance hall, providing access throughout this spacious and well-presented property.

Utility room

8' 9" x 8' 3" (2.67m x 2.51m)

Utility room created from the former garage, offering clever use of space with additional storage, and conveniently accessed via an internal door from the porch.

Bedroom

10' 11" x 12' 0" (3.33m x 3.67m)

One of two ground floor double bedrooms, offering generous space and flexibility for family living or guest accommodation.

Bedroom

9' 1" x 13' 8" (2.77m x 4.16m)

Second of two ground floor double bedrooms, offering a peaceful and comfortable retreat.

Bathroom

Spacious ground floor bathroom fitted with a suite comprising a bath with shower over, wash basin, and WC.

Kitchen

10' 0" x 9' 10" (3.06m x 2.99m)

Well-appointed kitchen, bright and airy, with a door providing side access to the garden.

Reception room

24' 1" x 16' 8" (7.33m x 5.08m)

Spacious extended reception room, flooded with natural light, featuring doors that open directly onto the garden.

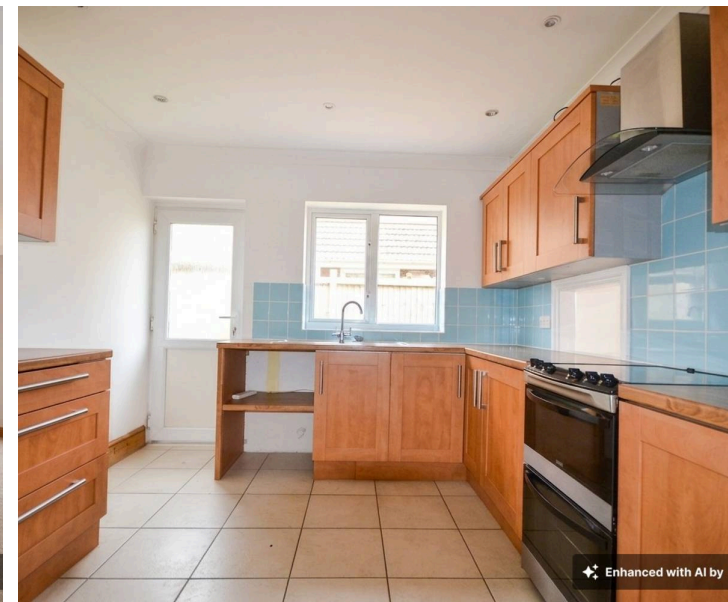
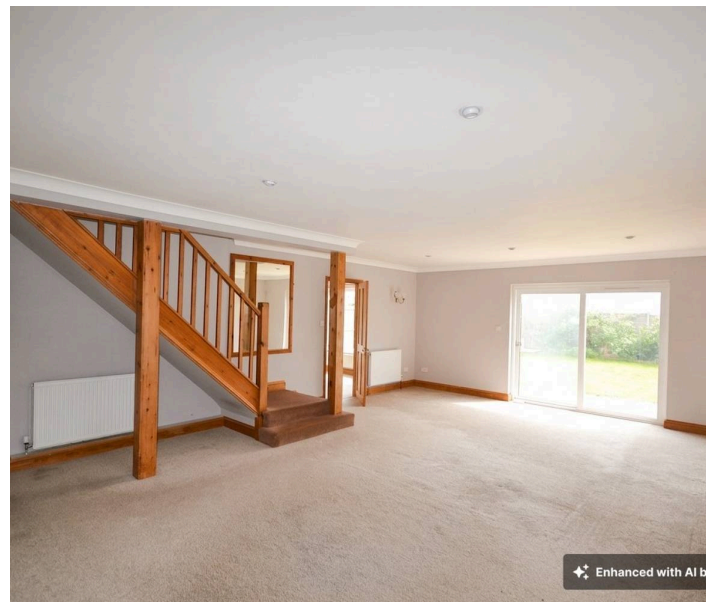
Reception room

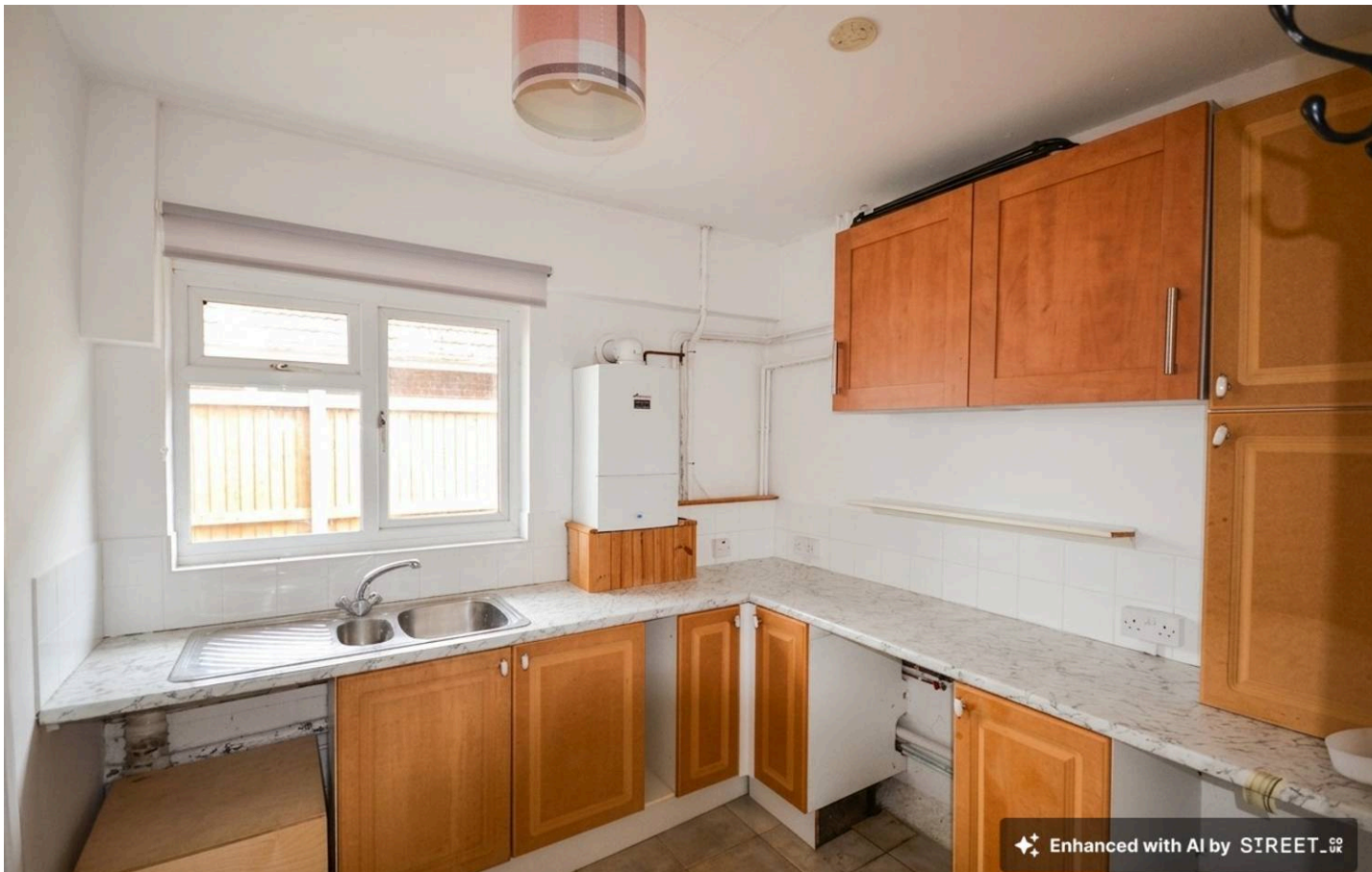
18' 1" x 10' 1" (5.51m x 3.07m)

Spacious extended second reception room, enjoying lovely views over the garden through a large picture window.

Galleried landing

Galleried landing with eaves storage, leading to two





Reception room

18' 1" x 10' 1" (5.51m x 3.07m)

Spacious extended second reception room, enjoying lovely views over the garden through a large picture window.

Galleried landing

Galleried landing with eaves storage, leading to two spacious double bedrooms.

Bedroom with En-suite

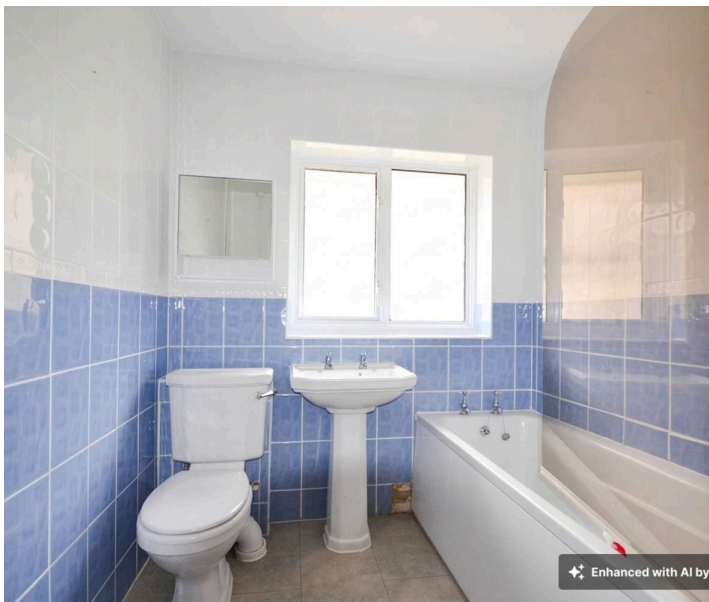
18' 5" x 12' 8" (5.61m x 3.87m)

Very spacious first floor double bedroom featuring fitted wardrobes, an en-suite bathroom, and views to the front of the property.

Bedroom

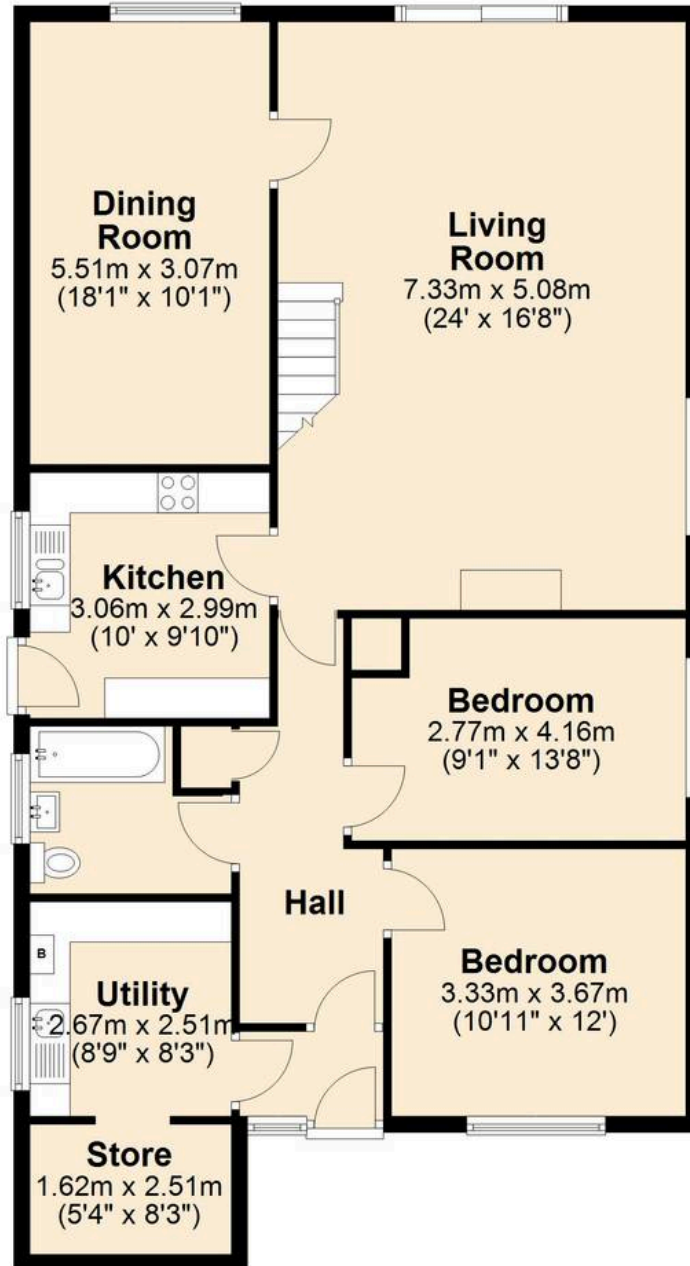
10' 11" x 12' 8" (3.32m x 3.86m)

Second of two first floor double bedrooms, enjoying stunning far-reaching views over the SSSI nature reserve.



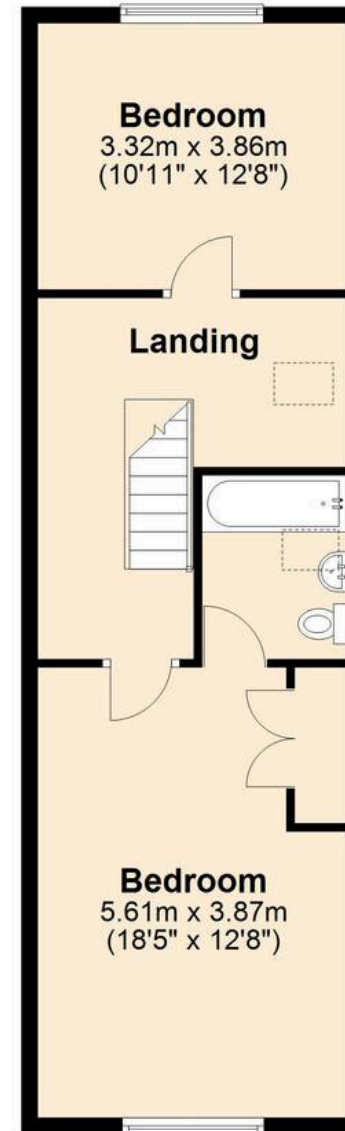
Ground Floor

Approx. 116.1 sq. metres (1249.7 sq. feet)



First Floor

Approx. 52.7 sq. metres (567.3 sq. feet)



Total area: approx. 168.8 sq. metres (1816.9 sq. feet)



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